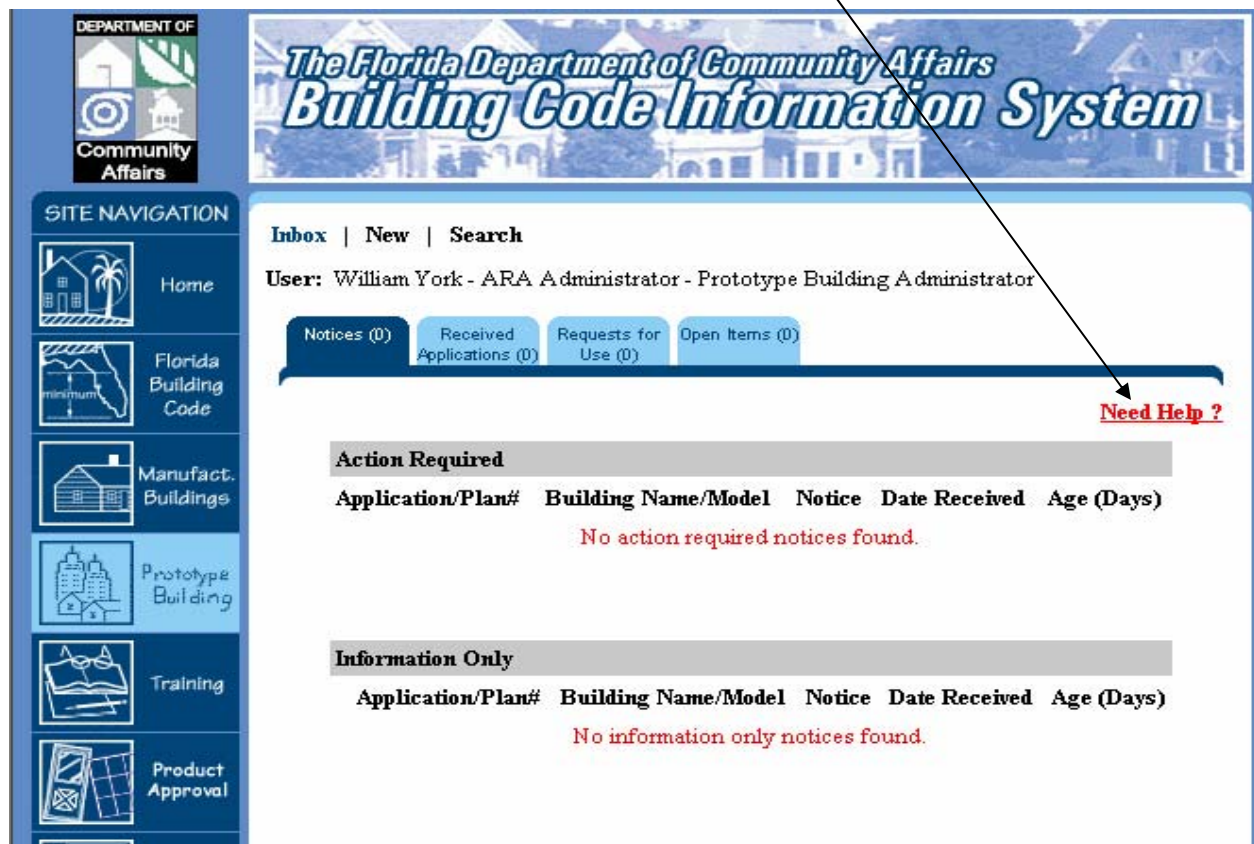


# Florida Prototype Building Program

## User Guide



The screenshot shows the web application interface for the Florida Building Code Information System. The header includes the Department of Community Affairs logo and the system title. A navigation sidebar on the left lists various sections: Home, Florida Building Code, Manufact. Buildings, Prototype Building, Training, and Product Approval. The main content area displays the user's name (William York - ARA Administrator - Prototype Building Administrator) and navigation tabs for Notices (0), Received Applications (0), Requests for Use (0), and Open Items (0). Below these are two sections: 'Action Required' and 'Information Only', both showing 'No action required notices found.' and 'No information only notices found.' respectively. A red 'Need Help?' link is visible in the top right of the main content area.

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## I. Introduction

The objective of the Florida Prototype Building Program (FPBP) is to provide a system of construction plans review and approval for public and private buildings and structures intended for repetitive, site-built construction throughout the state of Florida. This manual is intended to guide you through the processes required for using the System.

The FPBP makes use of the Florida Department of Community Affairs' web based Building Code Information System (BCIS) at: [www.floridabuilding.org](http://www.floridabuilding.org)

The BCIS requires that you be a registered user, and login to the system before you can navigate or use the FPBP—even if you are already a BCIS user for other “Site Navigation” uses, you must register as a Prototype Building User. (A “user” is anybody using any part of the BCIS)

Files may be submitted on a Compact Disk or uploaded to the BCIS as detailed in this User Guide. If you plan to upload files, please see the table below.

If you are using a dial-up connection, several operations in the Prototype Building system may take a while to complete. For example, attaching plans is a potentially slow operation on a dial-up connection. During the time these functions are “working,” the keys will be “locked” to prevent you from attempting to move forward while the System is “working.” Once the operation is completed, the keys will unlock and you may proceed with the balance of the submittal.

<i>Connection Method</i>	<i>20 MB pdf Files</i>	<i>40 MB pdf Files</i>	<i>60 M pdf Files</i>
Dial Up Modem	66 min	123 min	200 min
DSL 576 down/128 up	30 min	60 min	90 min
DSL 1756 down/256 up	10 min	20 min	30 min
T-1	2.7 min	5.4 min	8.1 min
T-3	5 seconds	10 seconds	15 seconds

***NOTE: Time estimates are based on a lightly loaded network.  
If other network activity is present these numbers are likely to be higher.***

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Prototype Building Program “Users” must first register as a Prototype User on the BCIS.

### **III. User Registration Procedure**

1. Open your internet browser
2. Enter [www.floridabuilding.org](http://www.floridabuilding.org) in the address field at the top of the browser and press enter.
3. If you are already registered as a Prototype User, click “Log In”. If not registered, Click “New User” on the right side under “Support.”
4. To register as a new user:
  - a. Click on user registration and complete the “User Registration” form that appears.
    - i. When you create a Login name the minimum number of characters is 4 and the maximum is 8 (Characters may be alpha, numeric, or combinations of both).
    - ii. Create a Password (suggested to be alpha and numeric)
    - iii. Note, both the log in and password are case sensitive.
    - iv. You must complete all boxes with Blue Labels; they are required fields.
      - NOTE: Your email address is also required
  - b. All information in the Black Labeled Fields should be completed also, but it is not mandatory.
  - c. The box labeled “Professional Associations:” is not mandatory and is used for record keeping only.
  - d. The question: “Do you need to associate with an existing organization; or register as a new organization using one of the following types?” should be answered “YES”. Click “Next.”
  - e. On the next page, you should choose “Prototype Building Applicant” in the Organization Type dropdown.
  - f. The page will reload with the Organization Name dropdown populated; it will display all Prototype Building Applicants currently registered. If your organization is there, choose it (and skip steps l, m, and n); if not, choose “New”
  - g. Click “Next” - (the warning message and box listed in the next three bullets are referencing the same thing)
  - h. When the warning box appears, click “OK” and complete the required fields
  - i. The following Box will appear:

Warning: Continuing from this page will PERMANENTLY associate your login/password with your organization affiliation at any time afterwards.

OK

Cancel

- j. Click OK.
- k. Complete the organization registration required fields and click "Next."
- l. A message will appear: "You are about to be registered as a Prototype Building Applicant" click NEXT. NOTE: If you have used the same password and login to affiliate with other organizations on BCIS site previously, those affiliations will be automatically eliminated.
- m. A confirmation message will appear, click "OK".
- n. The system will show you the registration information you have entered. If everything is correct, click "Finish".

Once registered, there are several different functions for an Applicant/User:

- Submit a new plan for review and approval
- Submit a revision to an existing approved plan
- Check the status of submitted plans
- Submit a request for use of an approved plan-
- Check the status of submitted requests for use
- Provide additional information required by the Program Administrator

Each of these functions is described in detail below.

## IV. Submit New Plan for Review and Approval

### a. General

1. Go to BCIS home page at [www.floridabuilding.org](http://www.floridabuilding.org)
2. Log in to the system—provide your user name and password
3. Once logged in, click on the Prototype Building box under the Site Navigation section on the left side of the screen
4. Click on the “New” Menu
5. Goes to the New, Applications Tab
6. Complete the application form, some information will be “pre-populated” based on your login and registration data. The balance of the fields should be completed, the “Required” fields appear in blue text and the application cannot be submitted if any “Required” field is left blank.
  - a. The Application Contact is the name of the person responsible for this particular application, it can be any person who can answer questions regarding the application and should be a person who can make decisions regarding the plans and application. The e-mail, phone and fax should be for the Applicant Contact.
  - b. Building Name/Model is for your reference; Residential (one and two family) buildings often have a model name while Commercial buildings may not have one. You may put any meaningful name in this box. (This is a required field)
  - c. Select the code edition you want the plans reviewed by. Generally, there will be only one choice listed. However, if the building is designed based on an expected future edition of the FBC, make the appropriate choice in this box. (Includes the effective Edition date, Revision date)
  - d. Construction Type is a drop down box for you to choose the correct type.
  - e. Occupancy Class is a drop down box for you to choose the correct class.
  - f. Cost per square foot is always required. (See Plan Submittal Requirements for procedure to calculate the average cost per square foot.) The Designer Construction Value is optional.
    - Note: Construction cost figures are used to determine the Plan Review Fee. As part of the application review process, construction cost values will be checked using the SBCCI/ICC schedule of values for construction for the entire building. Adjustments will be made for each section of the building (garage, porches, finished space, etc.) If the review process results in a different construction cost value, therefore a different plan review fee, you will be notified so corrections can be made prior to the application being Accepted by the Program Administrator.

- g. Select Public or Private building type
- h. Provide height of the building in feet
- i. Identify the number of stories
- j. Provide the total square footage of the building. This means “under roof” floor space with all entrances, porches, garages etc. included.
- k. Identify the Basis for the Wind design from the drop-down box. If you choose “Other”, identify (in the box provided) what “Other” Basis was used.
- l. Select Residential (One and Two family) or Commercial from the drop-down box. NOTE: once this selection is made, the screen will refresh and change. Depending on your choice in this box, the form will change to allow you to complete a One and Two Family Residential Building application, or a Commercial Building application. In either case, complete the form as described in sections c or d below.

### b. Plan Submittal Requirements

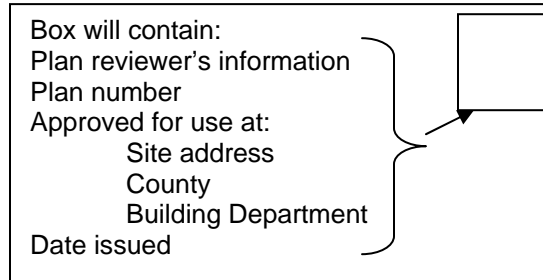
FOR ALL SUBMITTALS, three Signed and Sealed copies of documents (as required by the Florida Building Code and Statutes) must be sent to the Prototype Building Program Administrator (at the address shown on the User Guide Cover Sheet). Submittals must be via an Overnight Delivery Service (such as FEDEX, UPS, AIRBORNE, etc.) or other traceable system with confirmation of delivery system. Additionally, an electronic copy of all documents must be submitted:

1. Two options exist for submitting electronic plans:
  - a. A “CD” containing all required files can be submitted with the signed and sealed hard copies of the plans discussed above, or
  - b. Electronic files can be submitted during the on-line application process discussed below.

NOTE: For a single application, electronic files can only be submitted one way; all files must be on the CD or must be up-loaded on the BCIS Prototype Building Site.

2. ALL submitted electronic documents (plans, specifications, details, etc.) must be in PDF format.
3. See checklist in Appendix A at the end of the Users Guide.

4. All Plan Sheets must have a blank space 5” wide X 6” high in the upper right corner. This space will be used for approval and point of use information.



5. Roof truss documentation must be submitted with each set of plans. (If at the time of use, the truss supplier/designer will be other than the supplier/designer of the “Approved” plans, the local building department will review the new truss plans.
- a. NOTE: As identified in the “Terms of Use,” Prototype Building Plans are exempt from Local Technical Amendments to the Building Code; however, if truss plans (or other changed documents) are reviewed by the local building department, their review will be conducted taking into account any and all local building code amendments relating to the changed documents.
6. Building cost per square foot data submitted must be supplied using the following table, to be included with the documents submitted:

**Sample Residential Cost per Square Foot Calculation**

Space	Square feet	\$/sq. ft	Total \$
Living (Conditioned)	2500	125	312,500
Garage	500	50	25,000
Porch	400	45	18,000
Lanai	600	60	36,000
(Other as needed)			
<b>Total</b>	<b>4000</b>		<b>391,500</b>
Average cost per square foot		97.88	

7. For commercial buildings, a cost per square foot number must be submitted and an estimated construction cost figure may also be supplied.

### c. Residential (One- and Two-Family) Plan Review Applications

Building designs may vary depending on the wind speed, exposure, enclosure, wind borne debris requirements and/or High Velocity Hurricane Zone requirements for each site. The Prototype Building Program is adapted to review plans for both public and private buildings to be built throughout Florida where wind load conditions vary greatly. Therefore, in an effort to make Prototype Plan Reviews for one and two family buildings less expensive, multiple wind designs may be submitted in one application for the various wind design conditions anticipated. (The total plan review fee for plans with, for example 3 wind designs, will be less than the cost of 3 individual plan reviews for one wind design each.)

**NOTE: This option does not exist for Commercial Building Plan Reviews.**

1. Enter the design wind speed for the building; any whole number between 100 and 150 is acceptable. (It is anticipated that designs for 120, 130, 140, 146 and/or 150 will be used.)
2. Select the Exposure Category from the drop-down box
3. Select the Enclosure Category from the drop-down box.
4. List the Designer for the building. (If the names of multiple designers are needed, contact the FPBP Administrator for instructions at: [Prototype-Info@ARA.com](mailto:Prototype-Info@ARA.com).)
5. Provide the Florida License Number of the designer
6. List the area of competency for the designer. (Structural, Architect, etc.)
7. Submit PDF files on a CD and the signed and sealed plans (see Section b, page 7 for details) or attach one PDF file for the building to the electronic application. If you choose to send the CD with the hard copy plans, check the box indicating you are using this option and do not attach any files.
  - a. The PDF file must contain all of the drawings for the building. Drawings must be specific for the wind conditions selected earlier.
  - b. Other wind designs must be submitted as described below; each with a complete set of drawings with variations only in the wind load design conditions. In other words, the same model home to be built in a 120 MPH wind zone and a home to be built in a 140 MPH wind zone can only vary in wind load effected areas. (For example: Design Pressures, loads and connections, etc.)
8. If another wind design is to be submitted, click the “Add another wind design” button: the screen will refresh (assuming all the required information has been provided up to this point) and the wind design data entry fields will appear again for completion. Complete the required fields and continue to add wind designs until you have all wind design conditions added.
  - a. If you wish to remove a wind design due to an error, use the “Delete” button, which will remove the last wind design added.

9. Copies of All Product Approval Documentation must be provided in PDF format.
10. You may add specifications if desired by submitting or attaching a PDF file
11. You may add separate detail drawings if desired by submitting or attaching a PDF file.
12. If the house has “Options” (Sometimes called “Bubble Options”) shown on the plans, enter the number of Variations/Options in the box provided. *Plans will be reviewed considering any and all “Options.”*

*NOTE: Often residential house plans are offered with “flipped” floor plans and different elevations of the same basic house. The Prototype Program must store each of these plans separately to be sure the correct Plan is submitted for permitting. To facilitate these variations of the basic plan, the Program allows you to submit them as “Revisions” to the base APPROVED Plan. In other words, once the base plan is approved, you may submit each different elevation and “left” or “right” version of the base plan for review at a significantly reduced fee. Once the “revised” plans are submitted, the Administrator will review the changes and advise you of the appropriate fee based on the published fee schedule for the reviews to be conducted. The resultant fee for these reviews will be approximately 50% of the base plan review fee charged.*

13. Reviews to be conducted:
  - a. With the exception of HVHZ (High Velocity Hurricane Zone), Sprinkler and Gas, all reviews shown will be conducted for Prototype buildings. If the plans being submitted require HVHZ, Fire Sprinkler, and/or Gas, mark the appropriate radio buttons as “Yes” and complete the Sprinkler information needed.

At this point you have an opportunity to click the “Save Application” button or “Complete Application.” If you need to leave the application to gather further information or determine the payment method, you should click the “Save Application” button to allow you to return at a later time to complete the application.

If you click on “Complete Application” and any of the Required Information is missing, the system will take you back to the appropriate field for you to provide the missing information. Once the internal check is completed satisfactorily, the system will take you to the next steps:

The next screen will show you the Conditions of Use and Limits of liability statements. You should read this information carefully before agreeing and proceeding to the Fee Summary page. (If you do not click the “Agree” button, you may not proceed to the next steps.)

#### Payment for the Plan Reviews (Fee Summary Page)

Payments can be made by Credit Card or electronic checks. Simply complete the required fields on the payment form and submit the payment information. The Program Administrator will review the application and advise the applicant if the application is acceptable or if more information is needed or the fee calculated is incorrect. (The fee is calculated based on some of the information completed by the applicant, if the Administrator’s review reveals errors, the

corrected fee will be calculated and you will be notified of the problem. You will receive an e-mail identifying that there is a problem with application (that the application is Incomplete); the message will contain a link that will take you to the application for corrections. You can also check the Notices in your Inbox on the Prototype Building Site at the BCIS, or you can check the Submitted Applications tab once you log into the Prototype Building Site at the BCIS.

### **d. Commercial Plan Review Applications**

1. Complete the application steps as described in Section **b.** above and continue with the required information for Commercial Applications:
2. Enter the design wind speed for the building
3. Choose the Exposure Category from the drop down box
4. Choose the Enclosure Category from the drop-down box
5. Enter the Designer's name, License number and area of competency for each Plan Type.

FOR ALL SUBMITTALS, three Signed and Sealed copies of documents (as required by the Florida Building Code and Statutes) must be sent to the Prototype Building Program Administrator (at the address shown on the User Guide Cover Sheet). Submittals must be via an Overnight Delivery Service (such as FEDEX, UPS, AIRBORNE, etc.) or other traceable system with confirmation of delivery system. Additionally, an electronic copy of all documents must be submitted:

6. Two options exist for submitting electronic plans:
  - a. A "CD" containing all required files can be submitted with the signed and sealed hard copies of the plans discussed above, or
  - b. Electronic files can be submitted during the on-line application process discussed below.

NOTE: For a single application, electronic files can only be submitted one way; all files must be on the CD or must be up-loaded on the BCIS Prototype Building Site.

7. If you are electronically submitting plans, attach the appropriate file for each Plan Type. One file for each Plan Type is REQUIRED.
8. Specification PDF files must be attached, or submitted on the CD.
9. If Detail Drawings are not on the plans, they should be attached in PDF format also, or submitted on the CD.
10. If there are design variations/options (such as doors in different locations depending on site conditions) enter the number of variations/options in the box provided.

11. Plan Reviews will be conducted for each item shown in the Reviews to be Conducted list. If the plans being submitted require HVHZ, Fire Sprinkler, and/or Gas, mark the appropriate radio buttons as “Yes” and complete the Sprinkler information needed.

At this point you have an opportunity to click the “Save Application” button or “Complete Application.” If you need to leave the application to gather further information or determine the payment method, you should click the “Save Application” button to allow you to return at a later time to complete the application.

If you click on “Complete Application” and there is any required information is missing, the system will take you back to that field for you to provide the missing information. Once the internal check is completed satisfactorily, the system will take you to the next steps: Agreement with the use conditions and Fee Summary page (Payment for the Plan Review.)

The next screen will show you the Conditions of Use and Limits of liability statements. You should read this information carefully before agreeing and proceeding to the Fee Summary page. (If you do not click the “Agree” button, you may not proceed to the next steps.)

### **e. Payment for the Plan Reviews: (Fee Summary Page)**

Payments can be made by credit card or electronic check.

You may click on the “Pay by Credit Card” button and complete the appropriate payment form information.

You may click on the “Pay by Check” button and complete the appropriate payment form information.

Or you may “Cancel” the request and return to the application where you can save the request for completion at a later time. (As when you do not have the credit card or electronic check information at this time.) Or you can change information, if necessary, and resubmit the request.

After the application has been paid for and successfully submitted the Program Administrator will receive notification that an application is pending review. The Program Administrator will review the application and advise the applicant if the application is acceptable or if more information is needed or the fee calculated is incorrect. (The fee is calculated based on some of the information completed by the applicant, if the Administrator’s review reveals errors, the corrected fee will be calculated and you will be notified of the problem. You will receive an e-mail identifying that there is a problem with application (that the application is Incomplete); the message will contain a link that will take you to the application for corrections. You will also receive an email once the application is marked complete. You can also check the Notices in your Inbox on the Prototype Building Site at the BCIS, or you can check the Submitted Applications tab once you log into the Prototype Building Site at the BCIS.

If at any time during the application completion process, you need assistance, the “Need Help” link will take you to the written instructions on how to complete the forms.

### **f. Fee Schedule**

The Plan Review fee is based on the estimated construction value as determined by the designer or calculated in accordance with SBCCI’s Building Valuation tables, whichever is higher. Fees include one re-review of rejected plans (within 90 days). Subsequent re-reviews will be performed at an hourly rate of \$175.00 per hour (2-hour minimum).

1. For buildings with an estimated construction value up to \$100,000, the Building Plan Review fee is \$660 (minimum fee). A non-fundable fee of \$500.00 will be charged for plans withdrawn prior to reviews being completed.
2. For buildings with an estimated construction value over \$100,000 up to \$500,000, the fee is \$660 plus \$1.56/\$1,000 of the estimated value over \$100,000.
3. For buildings with an estimated construction value over \$500,000 up to \$5,000,000, the fee is \$1,284 plus \$1.02/\$1,000 of the estimated value over \$500,000

4. For buildings over \$5,000,000, the fee is \$5,874 plus \$0.72/\$1,000 of the valuation over \$5,000,000.

The plan review fee for Accessibility, Electrical, Energy, Florida Fire Prevention Code, Gas, Mechanical, and Plumbing Reviews are computed at 30 % of the Building Plan Review fee for each discipline for Commercial Buildings and 15% for each discipline for one and two family Residential Buildings. An additional fee for the High Velocity Hurricane Zone is included at 50% of the Building Plan Review fee for Commercial Buildings and 30% for Residential Buildings.

Alternate designs (such as different basic wind speed, exposure category or enclosure classification) will be an additional 30% each for commercial buildings and residential buildings. Design Variations (sometimes called “bubble options”) will be reviewed for a total additional fee of 30% for all variations submitted.

The Sprinkler Review is based on the number of sprinkler heads:

1. 1-100           \$250
2. 101-200       \$300
3. 201-300       \$325
4. 301-400       \$350
5. 401-500       \$400
6. Over 500 \$450 plus \$0.30 per sprinkler over 500.
7. For hydraulically designed systems, add 100%

A Distribution Fee of 15% of the plan review fee will apply to all requests for “Approved-Stamped” plans. Two or three copies will be sent to the user. If more than 3 copies are requested, an additional charge of \$0.20 per square foot of sheets provided will be assessed.

Example: 24 X 36 sheet = 6 sq. ft @ \$0.20 = \$1.20 per sheet

## **V. Submit a Revision to an Existing Approved Plan**

1. Log in to the Building Code Information System (as described earlier).
2. Click “Prototype Building” on the left side.
3. Click on the “New” menu item.
4. Click on the “Revision” tab.
5. Enter the first 5 digits of a currently approved plan number in the box provided.
6. Click “Find Plan”.
7. Once the “System” verifies the plan number you entered is one of your approved plans, you may enter the changes required (Code edition/revision date, Submit revised Signed and Sealed hard copies of the ENTIRE ORIGINAL DOCUMENT SUBMITTAL AND Attach revised PDF plan files, specifications or detail drawings on BCIS OR submit a CD containing all required PDF files along with the Signed and Sealed Hard copies).
8. In the text box “Summary of Revision,” enter a brief description of the revised information on the documents submitted. (If more space is needed, you may include details on a sheet with “Revised Files” to fully explain the changes.) The Program Administrator will review the revised information and calculate a Plan Review Fee based on the type and extent of the changes. (In no case will the fee be greater than the fee for a new application for the same building.)
9. Click the “Submit Revision” button to complete the process.
  - a. The Program Administrator will be automatically notified of the re-submittal and will notify you of the fee to be paid via e-mail and a notice to your in-box.

## VI. Check the Status of Submitted Plans

10. Log in to the BCIS as instructed earlier.
11. Click on the “Prototype Building” tab on the left side of the page.

If you are not already on the “Inbox” page, click the “Inbox” tab.

### a. Inbox Tabs

#### i. Notices

Your notices are divided into two categories: “Action Required” and Information Only.” The Action required items are items requiring input, information of corrections to submitted applications, more information on submitted plans or revisions and your requests for use of approved plans. Once you respond to an “Action required” notice, the notice will automatically be removed from the “Inbox.”

The “Information Only” section provides notices to you based on action taken by the Program Administrator. For example, when a completed application is accepted for plan review, the “System” will generate an “Information Only” notice to advise you that the Program Administrator accepted the application. Similarly, other “Information only” items will be sent to you Inbox so you can follow the status of active items for your account. Unlike the “Action Required” section, you must click the box on the left of each notice and then click the “Remove” button to delete the “Information Only” notices from your Inbox.

#### ii. Saved Applications

“Saved Applications” screen will list the applications you previously worked on but did NOT SUBMIT to the Program Administrator. For example, during the process of preparing a New Application for submittal, you may determine you do not have all the required information or the necessary payment information. The system allows you to save the application and allows you to return at a later time to provide the missing or incomplete information required to complete the application.

The “Saved Applications” tab will show you how many (if any) saved applications you have. Click on the text portion of the tab to display the list. To open a saved application, click the “Application #” link and the System will return you to the saved application for your use. Once the Application is completed, process it as instructed under “New Applications.”

#### iii. Incomplete Applications

The “Incomplete Applications” tab displays the number (if any) of incomplete applications in your “Inbox.” Click on the text portion of the tab to reveal the list with the “Application Numbers” link to each incomplete application.

Incomplete applications require ACTION on your part. The Program Administrator needs information to complete your application and no further action will take place until the necessary information is received. To determine what information is needed or needs to be corrected, open the application by clicking on the application number link. When the application appears, review the boxes on the left side of the form—checked boxes are complete and do not require further action; unchecked boxes require action to correct, complete or submit a revised Plan Review Fee. Once the required information, changes or adjustments have been completed, click the “Resubmit Application” button and proceed to the payment screen if required.

### **iv. Plans Need More Information**

The “Plans Need More Info” tab identifies the number of plans being reviewed that require more information from the design professional. (Plan reviewer’s comments)

1. Click the text portion of the tab to review the requests for more information/plan review comments.
2. Click the Plan-# and review the displayed application for the section entitled “Reviews to be conducted.”
3. To review the comments, click the link under the “Review” line for any review where the “status” line displays “pending.” You will then be taken to the comments sheet from the reviewer where you can open an attached “Word” document containing the reviewer’s comments and questions. If you need further information or wish to talk to the plan reviewer, send an e-mail to the Program Administrator at [Prototype-Info@ARA.com](mailto:Prototype-Info@ARA.com) to arrange to have the plan reviewer contact you.

### **v. Rejected Use Requests**

The “Rejected Use Requests” tab displays the number of rejected requests for use in your Inbox. Clicking on the text portion of the tab will display the use requests that have been rejected by the Program Administrator. Rejections may occur for several reasons: Incomplete or incorrect information on the request form such as the wrong wind speed or wind borne debris region specified for the plans selected—because all requests for use are site specific, the Program Administrator will check to be sure the requested plans are appropriate for the design wind conditions for the intended site.

1. Click on the “Plan Request #” link to view the rejected request. The request form will appear.
2. Review the Status and Comments at the bottom of the page to learn what must be changed or corrected to complete the use request. You may provide the necessary information or cancel the request by clicking on the appropriate buttons. (A credit will be issued by the Program Administrator for all cancelled use requests. If you submit a “replacement” use request (versus resubmitting an existing use request, it will be considered a new request and the appropriate fee will be collected by the System during the submission process. Credits for cancelled requests cannot be used to pay for new requests.)

**vi. Open Items**

You can search for the status of submitted applications (pending plan reviews), approved plans and requests for use using the “Type Search” drop down menu on this page. Adding the plan number and/or building name/model will narrow the search results and make it easier to find what you are looking for. These screens are helpful if you deleted an “Information Only” message and want to follow up on the status of the item but no longer have the message sent by the BCIS. As shown below, the application number, name of the building, who submitted the item, date of submission, current status, and the age of the application, will be displayed. Click on the application number to view the application if needed.

<b>Application#</b>	<b>Name</b>	<b>Submitted By</b>	<b>App Date</b>	<b>Status</b>	<b>Age (Days)</b>
<a href="#">10000</a>	Merry Wood	Test Proto App	03/20/2003	Submitted	

## **VII. Submit a Request for Use of an Approved Plan**

1. Log in to the Building Code Information System (as described earlier).
2. Click “Prototype Building” on the left side.
3. Click on the “New” menu item.
4. Click on the “Use Request” tab.
5. Fill in the Plan number fields. (5 digit plan number, 3 digit wind speed, one character for exposure, one character for enclosure, and 2 digits for the revision number.
6. Click the “Validate” button to assure the plan is a valid plan for you to use. The System will check, the screen will refresh and (assuming the validation is completed successfully) allow you to complete the balance of the use request form.
7. Click on 2 or 3 copies (if more copies are required, contact the Program Administrator to make the necessary arrangements).
8. Enter the Job Site address, City and Zip Code.
9. Enter the name of the local building department where the Building Permit will be issued.
10. Review the balance of the information the System has supplied and click on the Submit button. (The use fee is automatically calculated at 15% of the original plan review fee.)

You will be taken to the terms of use screen where you should review the terms and you must click on the Agree button. You will then go to the Payment screen where you can arrange for payment by credit card or electronic check. The requested number of copies of the plans will be forwarded to the requestor for the Design Professional to sign and seal all plans PRIOR to submitting the Building Permit Application with the local Building Department. All Prototype Building Plans will contain the approvers’ names, license numbers and a red box containing the construction site and date of issue of the plans.

## **VIII. Check the Status of Submitted Requests for Use**

1. Log in to the Building Code Information System (as described earlier).
2. Click “Prototype Building” on the left side.
3. First check your “Action Required” section of the Inbox to determine if the Program Administrator has rejected the request, if so, click on the application/plan # link to review the application and make the necessary corrections or changes.
4. If the request is not listed under the Action Required section, check the Information Only section in the Notice column for the status.
5. If you cannot find the information you require, send an e-mail to [Prototype-Info@ARA.com](mailto:Prototype-Info@ARA.com) for a response from the Program Administrator.

## **IX. Provide Additional Information Required by the Program Administrator**

1. Log in to the Building Code Information System (as described earlier).
2. Click “Prototype Building” on the left side.
3. Click the text portion of the appropriate tab to review the requests for more information/plan review comments.
4. Click the Plan-# and review the displayed application for the section entitled “Reviews to be conducted.”
5. To review the comments, click the link under the “Review” line for any review where the “status” line that displays “pending.” You will then be taken to the comments sheet from the reviewer where you can open an attached “Word” document containing the reviewer’s comments and questions. If you need further information or wish to talk to the plan reviewer, send an e-mail to the Program Administrator at [Prototype-Info@ARA.com](mailto:Prototype-Info@ARA.com) to arrange to have the plan reviewer contact you.

## X. Terms of Use

### General:

Applied Research Associates, Inc. (“ARA”) is pleased to act as the Prototype Building Administrator (“Administrator”) for the Department of Community Affairs (“DCA”) under, and to provide services in conjunction with the administration of, the Florida Prototype Building Program (“FPBP”). Please carefully read and understand all of the Terms of Use set forth below before using the FPBP web site or submitting construction plans for review and approval under the FPBP. Your use of the FPBP web site and/or submission or use of construction plans under the FPBP will constitute your consent and agreement to be bound by all of the terms and conditions set forth below and contained in the FPBP User Instructions and Procedures (as either may be amended from time-to-time), and, to the extent applicable, the provisions of Chapter 9B-74, F.A.C. (“PROTOTYPE BUILDINGS PLAN REVIEW AND APPROVAL”). By using the FPBP web site and/or submitting or using any construction plans under the FPBP you are also agreeing to comply with all city, county, state and federal laws and ordinances relating to building construction. If you are unable or unwilling to comply with the terms and conditions contained herein, in the FPBP User Instructions and Procedures and/or in Chapter 9B-74, F.A.C., please do not use the FPBP web site or submit construction plans for review and approval under the FPBP.

1. The FPBP was developed to provide a system of construction plans review and approval for public and private buildings and structures intended for repetitive, site-built construction throughout the State of Florida as provided for in § 553.77 F.S. (5):

*The commission may provide by rule for plans review and approval of prototype buildings owned by public and private entities to be replicated throughout the state. The rule must allow for review and approval of plans for prototype buildings to be performed by a public or private entity with oversight by the commission. The department may charge reasonable fees to cover the administrative costs of the program. Such approved plans or prototype buildings shall be exempt from further review required by s. [553.79\(2\)](#), except changes to the prototype design, site plans, and other site-related items. As provided in s. [553.73](#), prototype buildings are exempt from any locally adopted amendment to any part of the Florida Building Code. Construction or erection of such prototype buildings is subject to local permitting and inspections.*

2. The plans review completion time frame shall be in accordance with chapters 120.542(6) & (7) & (8) and 120.80(17), Florida Statutes. Other than apparent errors and omissions, if the plan reviewer identifies deficiencies in the plans, the submitter of the plans shall be notified of the deficiency by the Administrator and offered the alternative of waiving the ninety day time period for completion of the review to allow time to resolve the deficiency or the request for approval shall be denied. If all deficiencies are not resolved within one year of submittal of a complete set of plans, unless otherwise required under the provisions of Chapter 9B-74, F.A.C, the requested approval shall be denied.

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3. The plans review procedure shall, at a minimum, be in accordance with the plans review criteria in Section 104.3.1.1 of the Florida Building Code. The Administrator is a licensed Building Official with a standard license under Chapter 468, Florida Statutes. The FBC shall authorize 468 licensed personnel to perform plan review for building code compliance and the State Fire Marshal shall authorize 633 certified personnel to perform plan review for compliance with the Florida Fire Prevention Code.
4. Approval of the submitted plans indicates compliance with the Florida Building Code and Florida Fire Prevention Code. Buildings constructed utilizing the approved plans are exempt from local amendments to the codes, but are subject to local permitting requirements and inspection. Review of site-related items and variations are reserved to the jurisdiction in which a building is to be constructed. Additionally, such buildings may be subject to local provisions relating to development, aesthetic consistency, architectural ordinances and land development regulations not related to the Florida Building Code or Florida Fire Prevention Code.
5. Documents and information submitted to the Administrator are public records of the State of Florida. Disclosure of information and documentation provided to the Administrator is governed by Chapter 119, Florida Statutes. The general rule in the State of Florida is that public records must be made available to any requesting party upon reasonable request, however, Social Security numbers, financial information and building plans for specific types of buildings are exempt from disclosure.
6. No changes to this Terms of Use agreement (this “Agreement”) proposed by you or the Administrator will be effective unless and until they appear in this Agreement or in any amendments to this Agreement that we post or of which we provide other notice. Amendments to this Agreement may be posted without prior notice to you. Any use of the FPBP web site and/or submission of construction plans for review or approval under the FPBP after the effective date of any Amendment shall constitute your consent to be bound by the amended terms. By accepting or using the FPBP web site and/or submitting construction plans under the FPBP, you agree to periodically review this Agreement and to be bound by any Amendments or modifications to it.
7. As Administrator, we have the right to establish fees based on legislative authority and industry/market standards. All fees must be approved by the POC. The current fee structure is set forth in the FPBP User Instructions and Procedures, the provisions of which are incorporated herein by this reference. We reserve the right to change the fees charged under the FPBP from time-to-time in our discretion, subject, however, to POC approval.
8. This Agreement shall be governed by the laws of the State of Florida without regard to its conflict of law provisions. You and ARA agree to submit to the personal and exclusive jurisdiction of the courts located within Orlando, Florida.
9. This Agreement, including any Amendments and any documents incorporated herein by reference, your User Registrations form submitted in accordance with the provisions of the FPBP User Instructions and Procedures, and the disclosures, submittals and consents provided by you and ARA on the FPBP web site, constitute the entire agreement between

you and ARA. If any provisions of this Agreement is found by a court of competent jurisdiction to be invalid, the parties nevertheless agree that the court should endeavor to give effect to the parties' intentions as reflected in that provisions and the allocation of risks set forth herein, and agree that the remaining provisions of this Agreement shall remain in full force and effect. The unenforceability of any provisions of this Agreement shall not affect the enforceability of any other provision of this Agreement.

## **XI. Limit of Liability**

1. **ALL SERVICES ARE PROVIDED BY THE ADMINISTRATOR AS IS – WITH NO WARRANTIES.** You agree that your use of the FPBP web site and/or submission of construction plans under the FPBP is at your own and sole risk. All services provided by the Administrator are provided on an “as is” and “as available” basis. ARA disclaims all warranties and duties of any kind, express, implied or statutory, including, but not limited to, any implied warranties of merchantability or fitness for a particular purpose, non-infringement or title, duties of workman-like effort, or lack of negligence.

ARA assumes no responsibility for errors or omissions on the FPBP web site and is not responsible in any way for the functionality, specifications, or any other aspect of the items posted on the FPBP web site, or for the FPBP construction plan review or approval process. ARA does not guarantee continuous, uninterrupted or secure access to the FPBP web site or that defects in the FPBP web site will be corrected. You are responsible for implementing sufficient procedures to satisfy your particular requirements for protection of your system and/or accuracy of data and construction plans, and for maintaining a means of reconstruction of lost data and/or construction plans.

Without limiting the above, you agree that ARA and its officers, directors, shareholders, partners, employees, agents, affiliates, subcontractors and/or consultants do not make any warranties or undertake any duties regarding, without limitation, the following:

- Infringement of title or quiet enjoyment;
  - Functionality, including functionality of the FPBP web site software;
  - Uninterrupted, secure, error or virus-free web site services or storage;
  - Accuracy, completeness or completion of forms and/or approved construction plans;
  - Timeliness of services, including review and approval of submitted construction plans; or
  - Appropriateness or propriety of construction plans approved under the FPBP for a particular job.
2. **NO INCIDENTAL OR CONSEQUENTIAL DAMAGES.** To the fullest extent allowed by applicable law, you agree that neither ARA nor any of its officers, directors, shareholders, partners, employees, agents, affiliates, subcontractors and/or consultants, will be liable to you, your heirs or assigns, and/or any other person or entity for general, special, incidental, consequential, indirect or punitive damages of any kind, including, but not limited to, those damages resulting from delays, loss of use, data, sales, goodwill or profits, whether or not ARA has been advised of the possibility, or under any legal or equitable theory of liability, including theories of tort, contract or otherwise, arising out of the use of the FPBP web site and/or submission or use of construction plans under the FPBP. You further agree that in the event of a breach of this Agreement by ARA or any of its officers, directors, shareholders, partners, employees, agents, affiliates, subcontractors and/or consultants, your sole remedy shall be correction of the construction plan or service causing you damage. You also agree

that the damage exclusions and this limitation of liability shall apply even if any remedy fails of its essential purpose.

You further agree that the foregoing damage exclusions are reasonable and acceptable to you because ARA, as Administrator under the FPBP, is only providing to you a code compliance review of design plans prepared by your Designer. You acknowledge and agree that our review does not in any way relieve you of your responsibility for the accuracy of your Designer's design, and other technical work and compliance with applicable code requirements. As Administrator, we have no responsibility for construction means, methods, techniques, sequences, procedures, or safety precautions and programs in connection with each project or the failure of any contractor, subcontractor, vendor, or other project participant, not under contract with us to fulfill contractual responsibilities to you or to comply with federal, state, or local laws, regulations, and codes.

Based on the foregoing, and due to the limited services we, as Administrator, are performing for you and your ongoing projects, you agree to make no claims against ARA, its officers, directors, shareholders, partners, employees, agents, affiliates, subcontractors and/or consultants, and their respective directors, officers, employees and agents for any damages or expenses (including attorneys' fees and costs) you may incur as a result of your use of the FPBP web site and/or the submission or use of any construction plans under the FPBP.

3. **INDEMNIFICATION.** You agree to defend, indemnify and to hold harmless ARA and its officers, directors, shareholders, partners, agents, affiliates, subcontractors, consultants and employees, against all claims, damages, liabilities or costs (including reasonable attorney's fees and defense costs) arising out of or relating to your use of the FPBP web site and/or the submission or use of any construction plans under the FPBP, or your failure to pay all sums due ARA, including but not limited to reasonable attorneys fees incurred by ARA with or without suit and whether incurred on appeal or in bankruptcy.

## Appendix A. Prototype Building Submittal Checklist: Single Family Dwelling

### PRELIMINARY LIST PROVIDED FOR GUIDANCE LIST IS NOT COMPLETE

#### PLANS:

Type of construction  
Area Tabulation (shows square footages of building)  
Plans to ¼" scale  
Designer Information Name, Address, Registration Number on all pages.  
Page size 24 X 36  
All pages numbered and labeled  
High Velocity Hurricane Zone  
Wind-borne Debris Region  
Basic Wind Speed (Fig. 1606)  
Exposure Category (§1606.1.8)  
Opening Classification (§1606.1.5)  
Importance Factor (T. 1606)  
Components and Cladding Loads (§1606.1.7)

#### PRODUCT APPROVAL:

Documentation in form of Evaluation Report, Certification, NOA, Listing, Architect or Engineer Certification, or other for:

- Exterior doors: roll-up, sectional, sliding, swinging, automatic, or other
- Windows: awning, casement, dual action, double hung, single hung, fixed, horizontal slider, projected, pass through, mullions, wind breaker or other

Panel walls: siding, soffits, exterior insulation finish system (EIFS), curtain walls, wall louver, glass block, membrane, or other

Roofing products: built up roofing, modified bitumen roof system, single ply roof systems, spray applied polyurethane roof system, roofing fasteners, roofing insulation, asphalt shingles, wood shingles and shakes, roofing slate, roof tile

adhesives, cements-adhesives coatings, liquid applied roof systems, underlayments, nonstructural metal roofing, roofing tiles, waterproofing, or other

Shutters: accordion, Bahama, storm panels, colonial, roll-up, equipments, or other

Skylights: skylight or other

Structural components: truss plates, wood connectors anchors, sheds, concrete admixtures, insulation forms, engineered lumber, material, plastics, wall, deck-roof, railing, or other

Other products as applicable

#### CALCULATIONS:

Structural

Signed Energy Code Calculations for each Zone, North, Central, and South

Energy Calculation Documentation includes:

- A copy of Form 600
- Building Summary Sheet if FlaRes is used
- Manual J
- Window and door schedule
- Mechanical/water heating specifications
- Elevations for any vaulted ceilings or skylights
- Any supporting documentation the applicant would like to submit concerning the efficiency ratings of building components (i.e., instantaneous water heater EF from GAMA, manufacturer letter regarding factory sealed AHU, etc.

#### ELEVATIONS:

Front, rear, and side views

Roof slope  
Roof ventilation calculation  
Roof height  
Window, door, and other opening locations  
Design pressures shown at each opening  
Exterior wall surface  
Chimney location

**FLOOR PLAN:**

Building area  
Accessible bathroom access path 29 in.  
Hazardous locations Tempered or safety glass  
Identify location of egress windows  
Provide sizes of door and windows  
Attic Access  
Identify Interior and exterior load bearing walls

**FOUNDATION:**

Footing locations, depth and width  
Reinforcement grade and size  
Vertical reinforcement location  
Slab description  
Minimum 12" below grade  
All wood 6 in. above grade  
Termite inspection space between grade and exterior siding, decks, etc.  
Relieving Arch Steel Detail  
Brick ledge detail  
Termite Treatment  
Vapor Barrier  
Crawl Space Ventilation  
Termite shield details  
Column footing / pad location  
Interior footing, location and detail

**MASONRY WALLS:**

Horizontal reinforcing steel detail  
Vertical steel detail  
Typical lintel, bond beam, and/or tie beam  
Typical wall & opening detail  
Bearing frame wall to block wall detail  
Attachment detail for wood bucks 1-½ in. thick or greater

Manufacturers installation instructions for all doors and windows  
Detail for change in height of bond beam/tie-beam  
Identify shear wall segments

**FRAME WALLS:**

Bearing wall construction  
Header / opening details  
Anchor bolts spacing and size  
Wall sheathing nailing schedule  
Connector data  
Interior bearing wall details  
Shear wall details  
Typical wall section  
Insulation: wall and ceiling  
Exterior wall finish  
Stucco thickness

**ROOF FRAMING:**

Truss layout by truss company  
Truss layout by Eng. / Architect of record  
Marked strapping locations  
Strap schedule - size with nail count  
Truss bracing plan  
Manufactures installation instructions for roof system  
Roof Sheathing and fastening schedule  
Ceiling/Roof diaphragm and blocking  
Gable end bracing detail  
Valley framing detail  
Girder location and strapping required  
Interior bearing wall detail  
Gable end details and bracing provisions

**ELECTRICAL:**

Load description / Service Size  
Smoke detector locations labeled  
Electric Layout  
Electrical Riser Diagram  
Panel location  
Service location  
AC disconnect  
GFI outlets  
AFCI outlets

**MECHANICAL:**

Equipment locations  
CFM's  
R value of ductwork  
Clearances at equipment  
Appliance barrier protection  
Bathroom exhaust size and discharge  
Clothes dryer discharge  
Size of transfer ducts and grilles Supply layout duct & grill sizes  
Return duct layout and jumpers  
Approved structural details for air-handler installed in attic area

**PLUMBING:**

Water Heater location  
Fixture Location  
Riser Diagram

**GAS SYSTEM REQUIREMENTS:**

BTUs each outlet & total BTUs  
Pipe type & total length  
LP regulator Model /Type  
Combustion air vents  
Location of equipment  
Venting  
Gas riser

**CONSTRUCTION DETAILS NEED DETERMINED BY INDIVIDUAL PLAN:**

Stair and railing details

Bay window detail  
Chimney framing detail  
Dormer framing detail  
Entry construction detail  
Column strapping detail  
Post to beam / slab connectors  
Glass block installation details  
Skylight framing detail  
2nd Floor Layout / connectors detail  
Knee wall construction detail  
Opening protection devices details

**Miscellaneous**

Guardrails  
Fireplace construction

Please note, due to potential changes that may be required, this list may not be all-inclusive. It is provided as a guide for Prototype plan submittal.